



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2018-00661

DATE: May 21, 2019

May 28, 2019 – Revised

ADDRESS OF PROPERTY: 429 West Boulevard

TAX PARCEL NUMBER: 11907717

HISTORIC DISTRICT: Wilmore

OWNER: Elizabeth Griffin


APPLICANT: Diana Halski, Studio XIV, PLLC

DETAILS OF APPROVED PROJECT: The proposed project includes the demolition + removal of the existing front porch. A new covered front porch will be constructed. Materials are all traditional to match existing including the concrete porch floor, brick foundation, and wood porch columns. The project also includes changes to the window and door openings on the right and left elevations. The new window openings and existing windows to be repaired are noted on the floor plan (A1.1). Proposed new double-hung windows will be Simulated True Divided Light (STDL) aluminum clad in a 6/1 pattern to match existing. Brick from the rear elevation will be reused to infill the window openings to be enclosed. All brick will remain unpainted. No trees will be removed. See attached plans.

The project was approved by the HDC April 10, 2019.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



James Haden, Chairman



Staff

GENERAL NOTES:

- G.C. to verify and assume responsibility for all dimensions and site conditions prior to construction, fabrication, or installation. Any discrepancies between field conditions and those shown in documents, should be brought to the immediate attention of the Architect for resolution.
- All work shall conform to current and applicable editions of all governing codes and ordinances. Local codes and ordinances take precedence over drawings. Any discrepancies between codes and drawings, should be brought to the immediate attention of the Architect for resolution.
- It is the responsibility of the Contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect construction activities and/or construction scheduling prior to submitting a bid.
- The drawings indicate general details of construction - where conditions are not specifically indicated, but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Architect and, if required, Structural Engineer.
- Each miscellaneous item of cutting, patching, or fitting is not necessarily individually described in the documents.
- Coordinate all operations with Owner including, but not limited to, areas used for material storage, access to and from work, timing of work, and interruption of plumbing, mechanical and electrical services, etc.
- It is the responsibility of the Contractor to install proper dust barriers and other protection as required to protect both existing and new finishes and facilities.
- G.C. shall provide temporary bracing for structure and structural components until all final connections have been completed in accordance with the plans.
- G.C. shall provide certificates of insurance, including, but not limited to, Workmen's Comp. and General Liability. Owner shall notify G.C. of any additional insurance requirements.
- G.C. to field verify existing site for grading and tree locations prior to site preparation/condition. Erect protective barrier(s) around existing trees/plantings to remain.
- G.C. to verify all zoning setbacks and deed restrictions.
- All perimeter ground surfaces to slope away from structure/foundation to ensure proper drainage.
- Repair/replace existing sidewalks as required.
- See structural drawings for all framing, foundation & structural information. Architect not responsible for structural design.
- Waterproof foundation walls as required by code.
- All undesignated dimensioned walls to be 3 1/2" wood stud.
- Dimensions are to centerline of doors and windows, unless otherwise noted.
- All undimensioned doors to be centered or located 6" off sidewalk.
- All dimensions noted take precedence over scaled dimensions. N.T.S. denotes Not To Scale. In no case should the drawings be scaled for dimensional information. Check details for location of all items not dimensioned on plans.
- Building systems and components not specifically detailed shall be installed as per minimum manufacturer's recommendations. Notify the Architect of any resulting conflicts.
- See structural drawings for all footing, foundation, slab information, and vent calculations & locations. Vents to be centered with windows above where possible. Owner to approve final vent style & location.
- G.C. to verify location of all existing utility services and notify & coordinate with Owner if any such services need to be relocated.
- Insulate new floors, walls, and ceilings per code.
- Where work is installed or existing finishes are disturbed, such areas shall be refinished to match the area prior to the disturbance.
- Head and sill flashing at all doors and windows. Waterproof per code.
- New doors and casement openings are noted with sizes labeled on plan.
- See elevations for exterior door designs and provide shop drawings to Architect.
- G.C. to coordinate appliance, plumbing, & cabinets and provide cabinetry shop drawings to owner for approval prior to ordering/construction.
- Plumbing & appliance rough-in to be coordinated with cabinetry shop drawings prior to installation.
- New windows are noted with a letter, which corresponds to the window schedule on sheet A2.0.
- It is the responsibility of the Owner to review all drawings and associated contract documents.

TERMITE TREATMENT NOTE:

- G.C. is responsible for slab extermination treatment.
- All slabs to receive termite treatment and inspection.
- Poison all soil at all crawl spaces and at mechanical basement slabs as required by code.
- Treat soil at existing and newly excavated spaces.
- Maintenance of soil is recommended.

INSULATION & VAPOR BARRIER NOTES:

- All slabs to receive a vapor barrier, termite treatment, and inspection, including basement slabs and exterior porch/patio slabs, etc.
- A vapor barrier should be placed between crushed rock and slab.
- Insulation should be per code as follows:
 - Exterior walls - R-13
 - Floors over unheated space - R-13
 - Roof / Ceiling Assemblies - R-38
 - Between Heated Floors - R-11 (for sound)
 - At plumbing walls - R-11 (for sound)
- Provide sound attenuation batts surrounding all bathrooms, laundry, and kitchen, including interior partitions.

KEY:

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NOTE: SEE SHEET A2.0 FOR WINDOW SCHEDULE

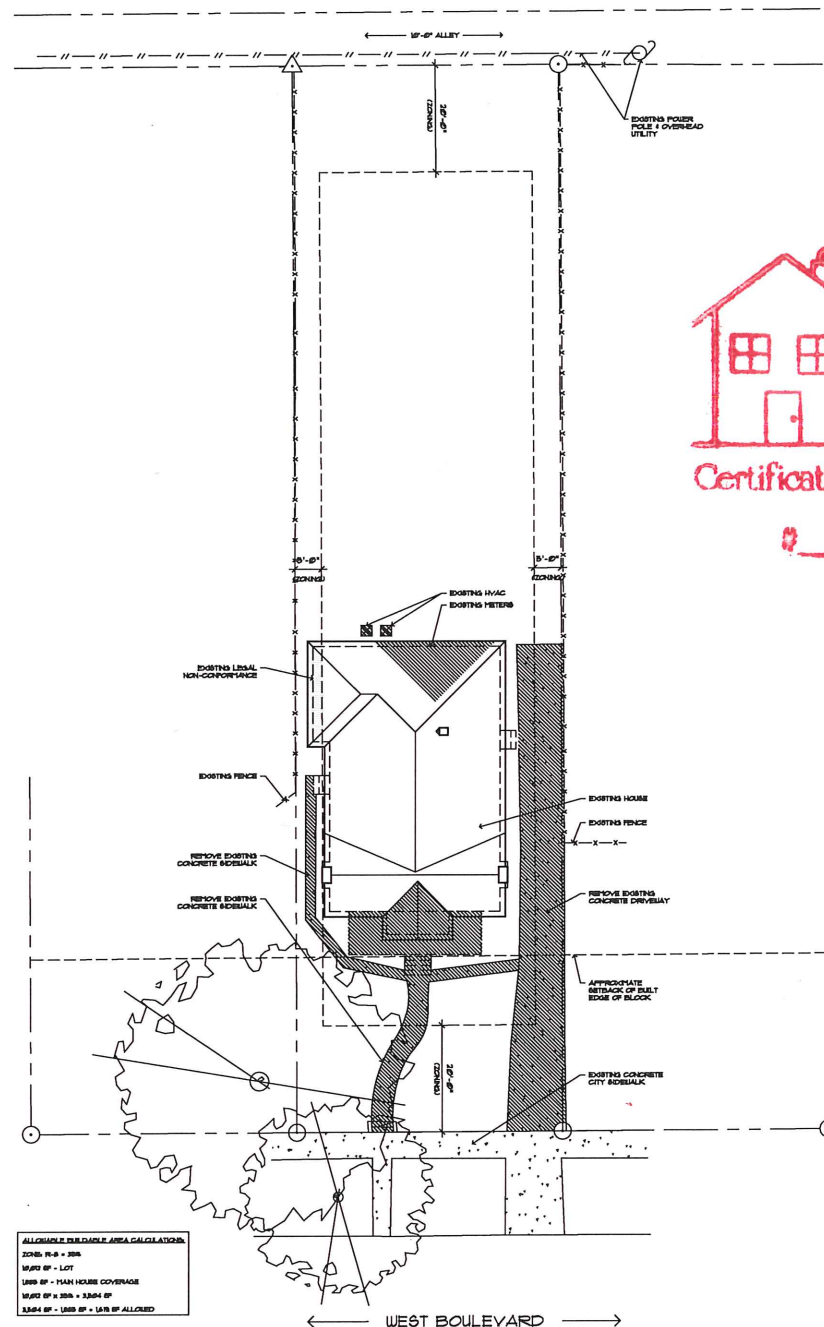
NOTE: EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO NEW CONSTRUCTION.

PROJECT DATA:

This project consists of a full home renovation with rear addition and new front & rear porches. The project received full HDC commission approval on 4/10/2018.

| | |
|----------|----------------------------------|
| 4/- 1660 | HEATED SF - RENOVATION |
| 4/- 240 | HEATED SF - REAR ADDITION |
| 4/- 1900 | HEATED SF - TOTAL |
| 4/- 30 | UNHEATED SF - REAR COVERED PORCH |
| 4/- 210 | UNHEATED SF - FRONT PORCH |
| 4/- 300 | UNHEATED SF - TOTAL |

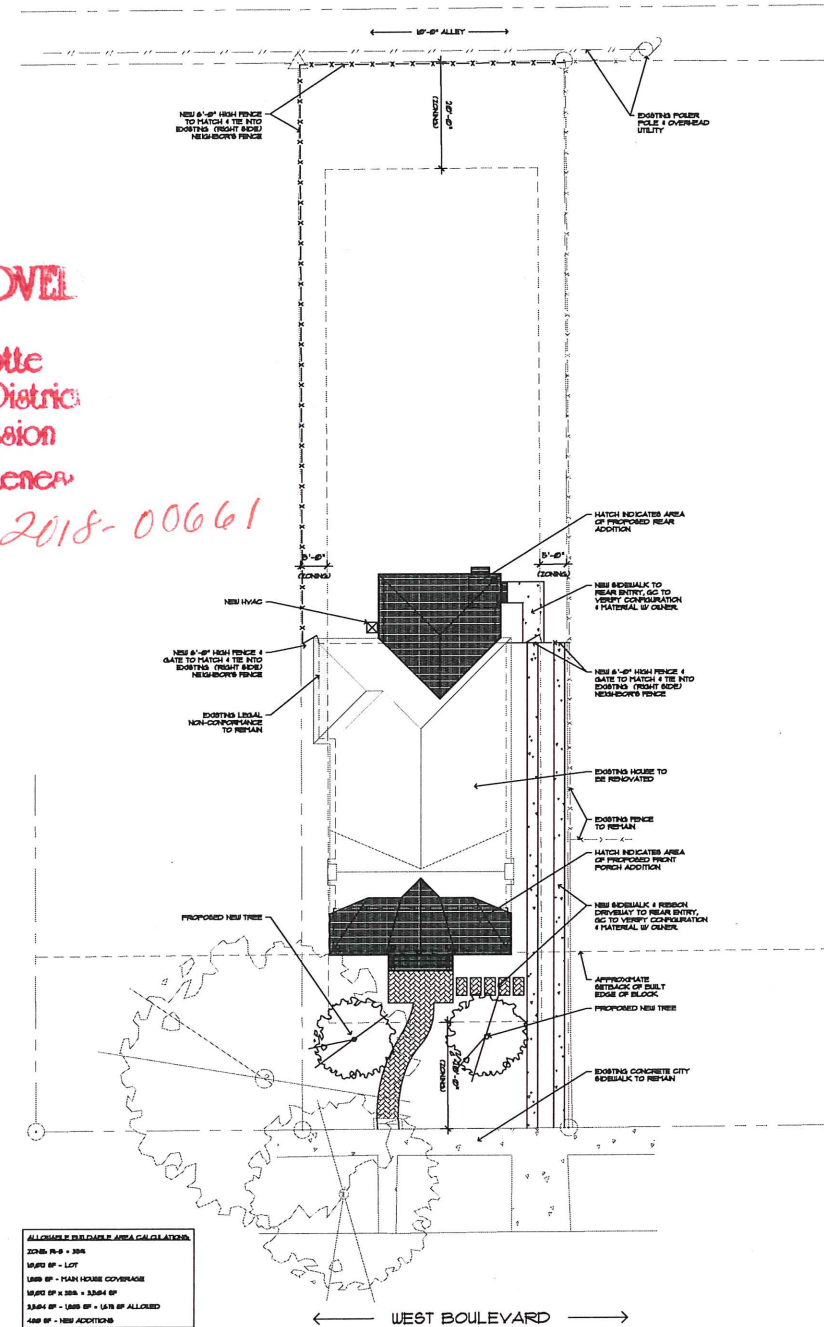
* Note: Square footage calculation are taken from exterior face of walls.



ALLOWABLE BUILDABLE AREA CALCULATION:
 ZONE R-4 = 200
 100% OF LOT
 100% OF 1-1/2 STORY HOME COVERAGE
 100% OF 2 1/2 STORY + 3,000 SF
 3,000 SF - 100% OF 1-1/2 STORY = 100% OF ALLOWED
 100% OF 1-1/2 STORY

EXISTING SITE PLAN
 SCALE: 1/16"=1'-0"

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 HDCRMTI-2018-00661



ALLOWABLE BUILDABLE AREA CALCULATION:
 ZONE R-4 = 200
 100% OF LOT
 100% OF 1-1/2 STORY HOME COVERAGE
 100% OF 2 1/2 STORY + 3,000 SF
 3,000 SF - 100% OF 1-1/2 STORY = 100% OF ALLOWED
 100% OF 1-1/2 STORY

PROPOSED SITE PLAN
 SCALE: 1/16"=1'-0"



These Plans are of permit content only.
 General Contractor shall be held solely responsible for completion of all work shown or reasonably implied by these drawings. G.C. shall confirm all dimensions and conditions at the site and shall immediately notify the Architect of any discrepancies. Architect not responsible for equipment or materials not specified on these plans.

PROGRESS SET NOT FOR CONSTRUCTION

DATES:
 Existing Drawings
 21 DECEMBER 2016
 Progress Drawings
 NOT FOR CONSTRUCTION
 14 JANUARY 2018
 05 MARCH 2018
 HDC Submittal
 NOT FOR CONSTRUCTION
 06 FEBRUARY 2018
 06 MARCH 2018
 13 MARCH 2018
 01 APRIL 2018
 10 APRIL 2018
 11 APRIL 2018
 03 MAY 2018
 Permit Set
 FOR CONSTRUCTION
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The Griffin Residence
 Elizabeth Griffin
 429 West Boulevard
 Charlotte, NC 28203

EXISTING & PROPOSED
 SITE PLANS
 A0.1

KEY:

| | | | |
|--|--|--|------------------|
| | Existing stud wall to remain | | Brick |
| | New stud wall construction | | Concrete |
| | Existing construction to be demolished | | CMU |
| | Existing construction to remain | | Misc. - See Note |

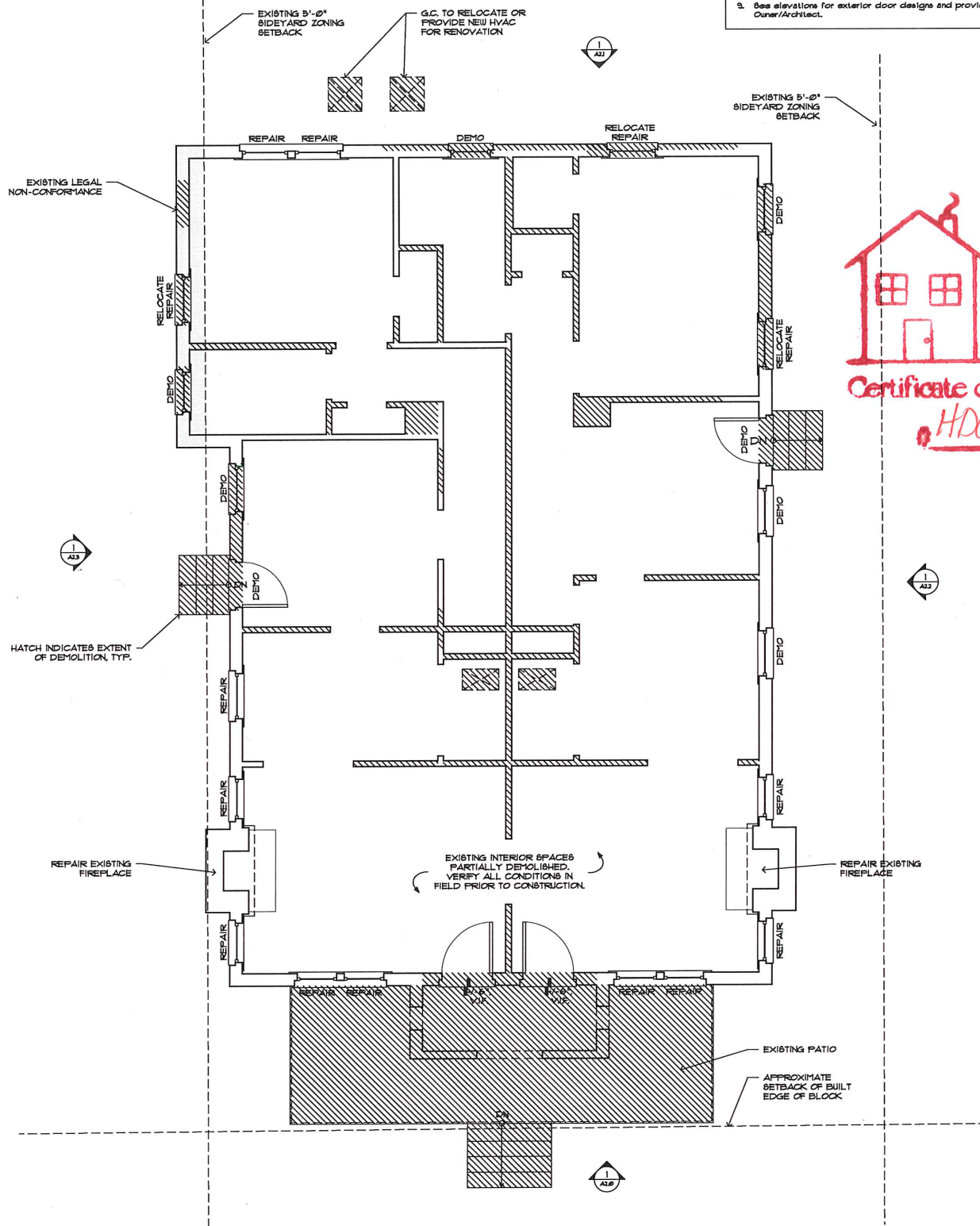
NOTE: EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO NEW CONSTRUCTION.

NOTE: SEE SHEET A2.0 FOR WINDOW SCHEDULE

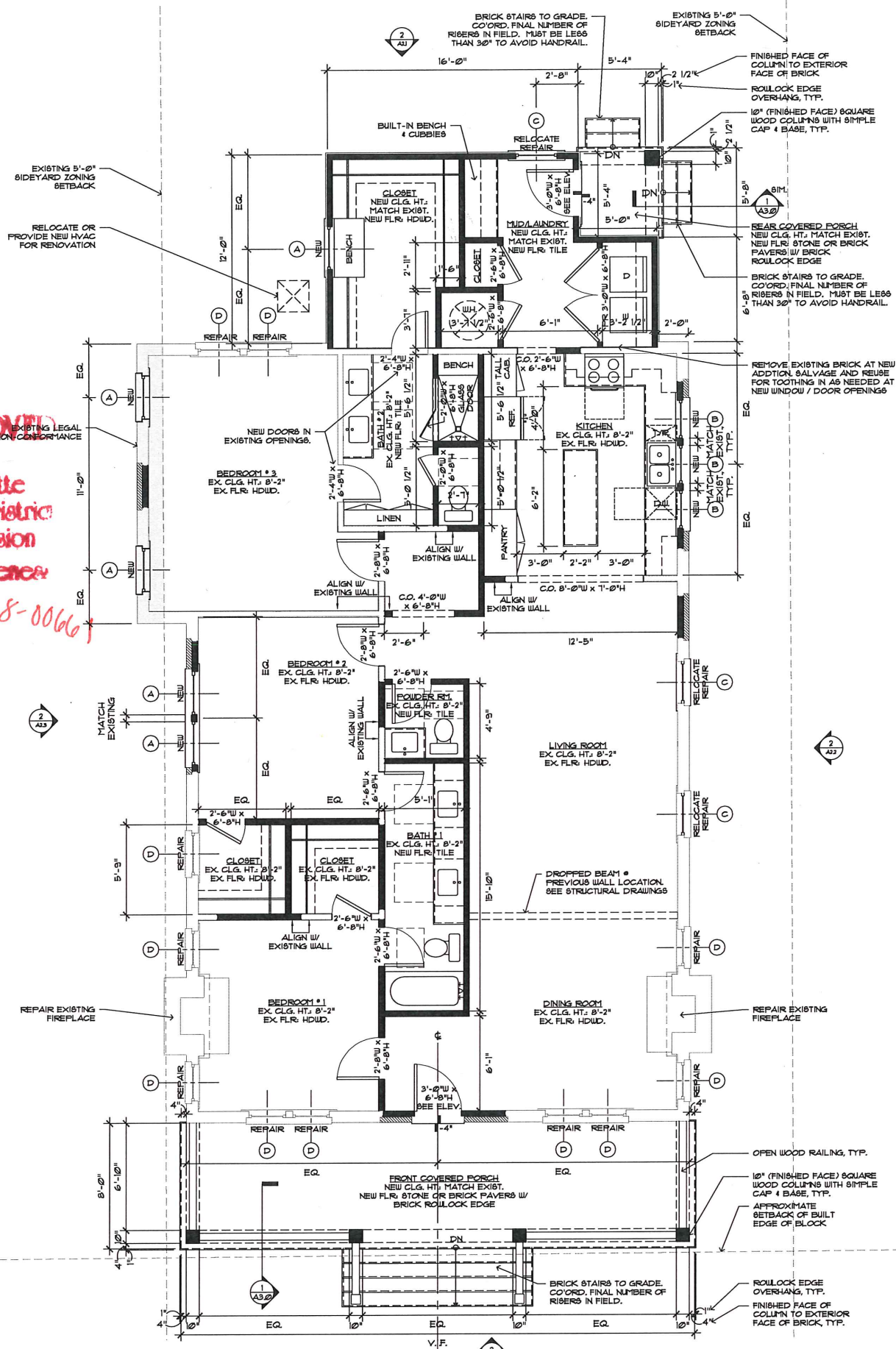
GENERAL FLOOR PLAN NOTES:

- All undesignated dimensioned walls to be 3/2" wood stud.
 - All undimensioned doors to be centered or to be located 6" off sidewall.
 - Provide sound attenuation batts surrounding all bedrooms, laundry, kitchen including interior partitions.
 - See also reflected ceiling plan for outlets in addition to code minimum. Main floor receptacles to be configured horizontally in baseboards.
 - Plumbing rough to be coordinated with cabinetry shop drawings prior to installation.
 - Appliance rough to be coordinated with cabinetry shop drawings prior to installation.
- Dimensions are to centerline of doors and windows, unless otherwise noted.
 - New doors and cascd openings are noted with sizes labeled on plan.
 - Base elevations for exterior door designs and provide shop drawings to Owner/Architect.

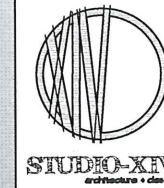
NOTE: SALVAGE AND REUSE BRICK WHERE POSSIBLE



1 EXISTING LEVEL ONE FLOOR PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED LEVEL ONE FLOOR PLAN
SCALE: 1/4"=1'-0"



Diana Halko
561-D Grand Park Plaza
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184.6.18.4871
diana.studioxiv@gmail.com

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PROGRESS SET
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CONSTRUCTION

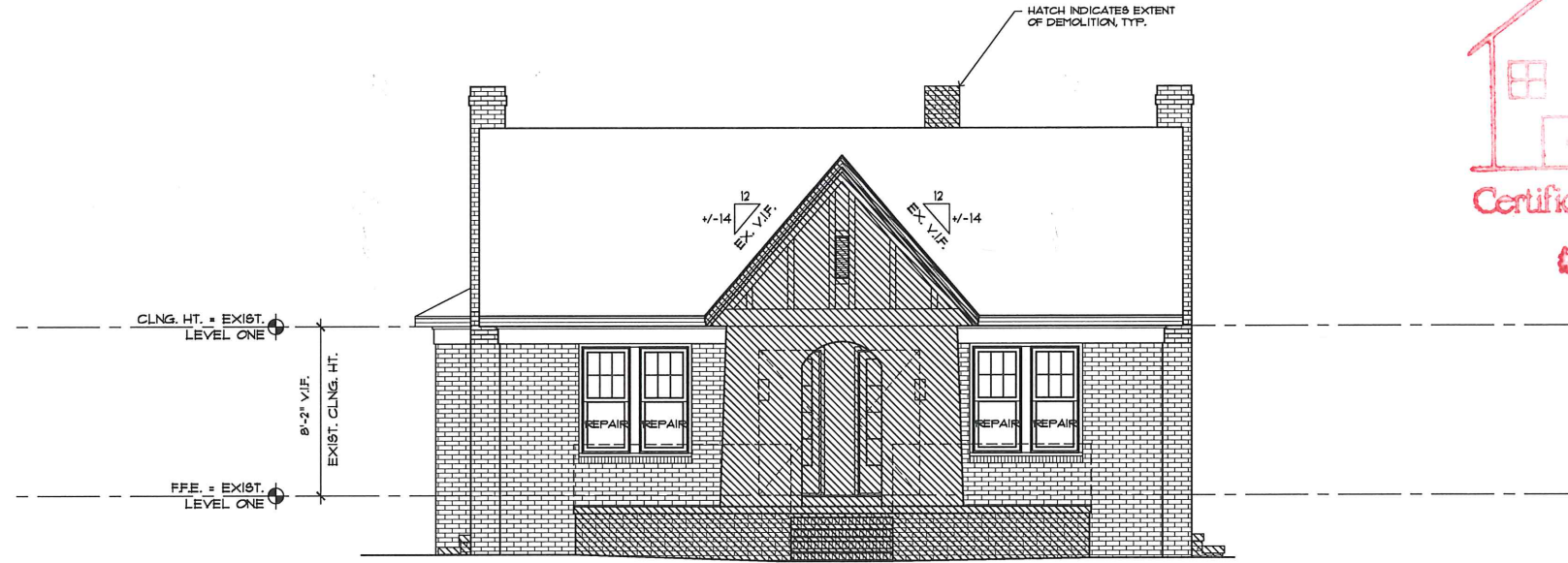
DATES:

- Existing Drawings 21 DECEMBER 2016
- Progress Drawings NOT FOR CONSTRUCTION 14 JANUARY 2015
- 09 MARCH 2015
- HDC Submission NOT FOR CONSTRUCTION 06 FEBRUARY 2015
- 13 MARCH 2015
- 01 APRIL 2015
- 19 APRIL 2015
- 11 APRIL 2015
- 03 MAY 2015

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Elizabeth Griffin
429 West Boulevard
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EXISTING 4
PROPOSED
LEVEL ONE
FLOOR PLANS



1 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"




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 HDCKMT-2018-
 00661

KEY:

| | | | |
|--|--|--|------------------|
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| | New stud wall construction | | Concrete |
| | Existing construction to be demolished | | CMU |
| | Existing construction to remain | | Misc. - See Note |

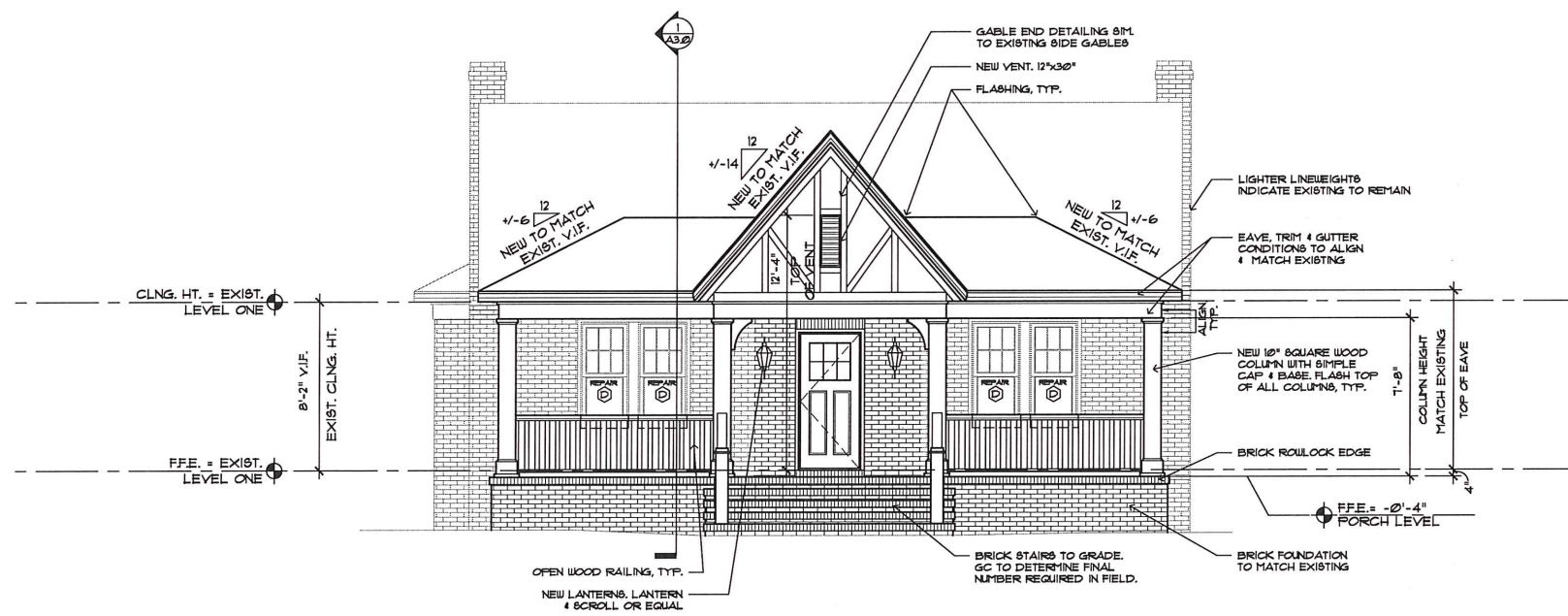
NOTE: PROVIDE CORROSION-RESISTANT FLASHING AT ALL ROOF TO WALL INTERSECTIONS IN STEPPED FASHION

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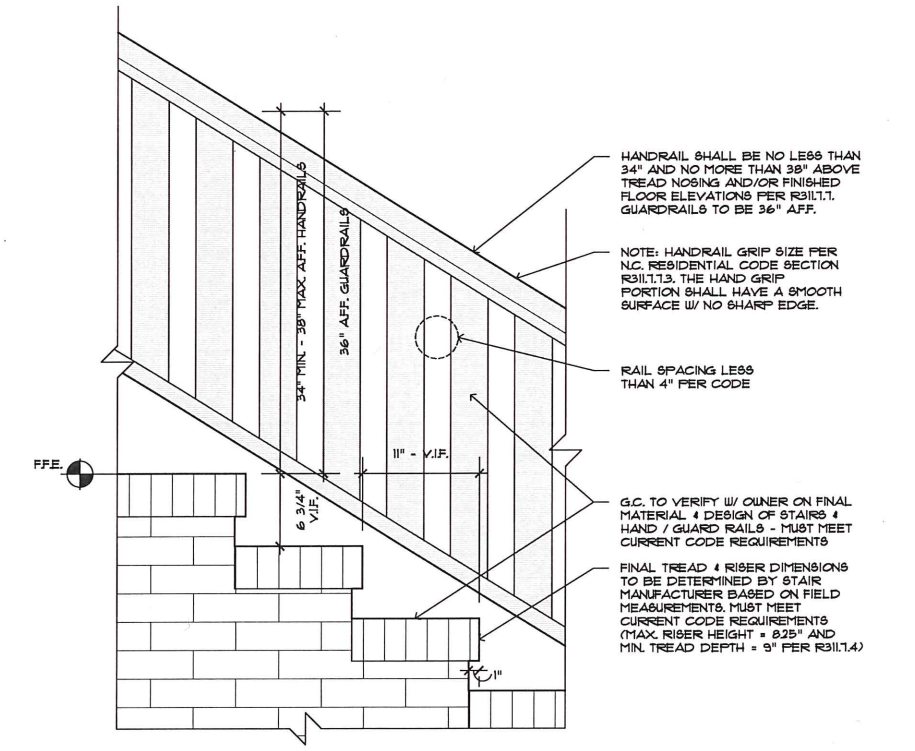
WINDOW SCHEDULE:

| SYMBOL | WINDOW TYPE | WINDOW SIZE (W x H) |
|--------|-------------------|-----------------------------------|
| A | DOUBLE HUNG, 6/1 | 33" x 64" - MUST MEET EGRESS CODE |
| B | DOUBLE HUNG, 6/1 | 28" x 44" |
| C | REPAIR & RELOCATE | EXISTING, VERIFY IN FIELD |
| D | REPAIR | EXISTING, VERIFY IN FIELD |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

- NOTES:**
- SEE EXTERIOR ELEVATIONS FOR WINDOW LOCATIONS & CONFIGURATIONS. SEE ALSO WINDOW DETAILS ON A3.0.
 - FINAL WINDOW & DOOR ORDER TO BE APPROVED BY OWNER PRIOR TO ORDERING.
 - G.C. TO COORDINATE W/ WINDOW REP. TO VERIFY LOCATIONS OF TEMPERED GLASS WHERE REQUIRED BY CODE.
 - WINDOWS MUST COMPLY WITH N.C. RESIDENTIAL CODE SECTION 3102.1. MINIMUM 5.7 SF TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOW FOR EGRESS.
 - ALL NEW WINDOWS TO BE JELDEN SILENE SERIES (OR APPROVED EQUAL) WITH SIMULATED DIVIDED LITES & SHADOW BARDS AS SHOWN ON ELEVATIONS.
 - PROVIDE INTERIOR STORY WINDOWS ON ALL EXISTING, REPAIRED AND RELOCATED WINDOWS.



2 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 PARTIAL STAIR SECTION
SCALE: 1 1/2"=1'-0"




STUDIO XIV
 architecture + design
 Diana Heisk
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 diana@studioxiv.com

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28 MARCH 2019

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06 FEBRUARY 2019
08 MARCH 2019
13 MARCH 2019
21 APRIL 2019
27 APRIL 2019
11 APRIL 2019
23 MAY 2019

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 Elizabeth Griffin
 429 West Boulevard
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EXISTING &
PROPOSED
FRONT
ELEVATIONS
A2.0



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1548-154871
diana@studioxiv.com

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05 MARCH 2019
05 MARCH 2019
01 APRIL 2019
10 APRIL 2019
03 MAY 2019
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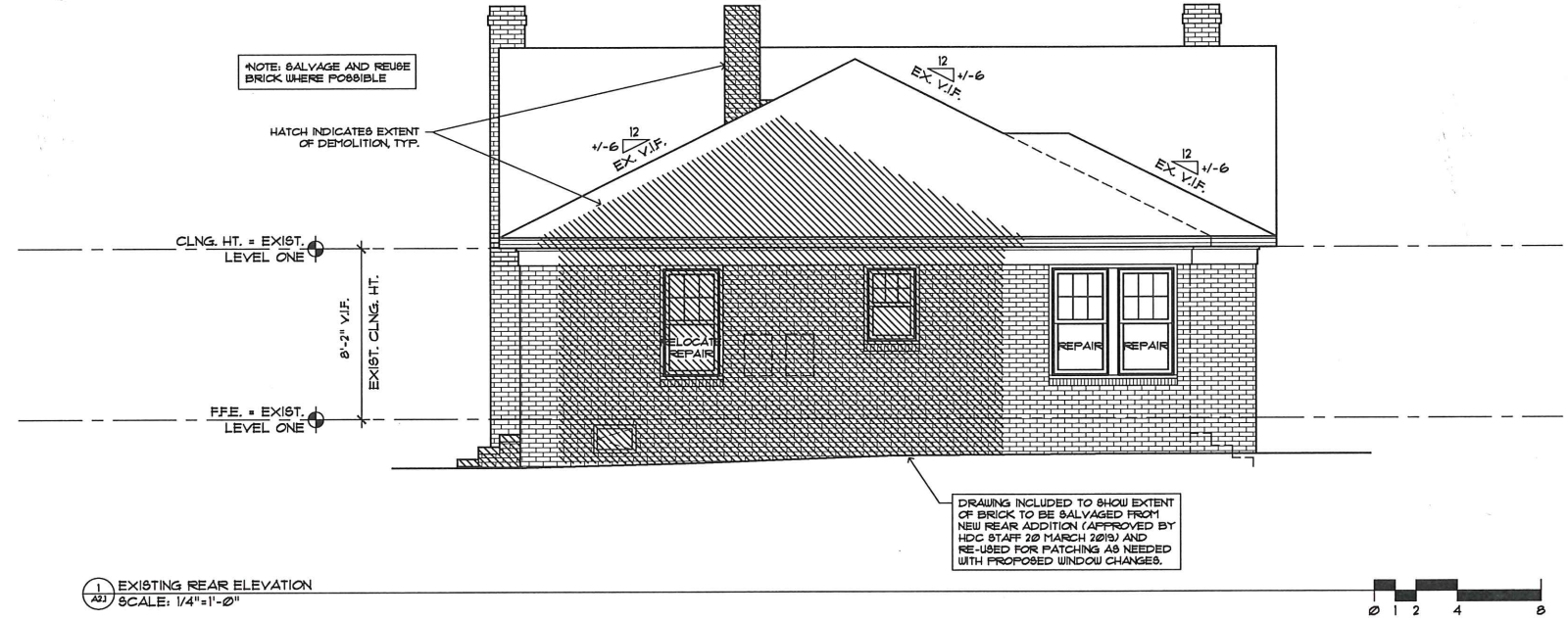
EXISTING &
PROPOSED
REAR
ELEVATIONS
A2.1

| | | | |
|--|--|--|------------------|
| | Existing stud wall to remain | | Brick |
| | New stud wall construction | | Concrete |
| | Existing construction to be demolished | | CMU |
| | Existing construction to remain | | Misc. - See Note |

NOTE: PROVIDE CORROSION-RESISTANT FLASHING AT ALL ROOF TO WALL INTERSECTIONS IN STEPPED FASHION

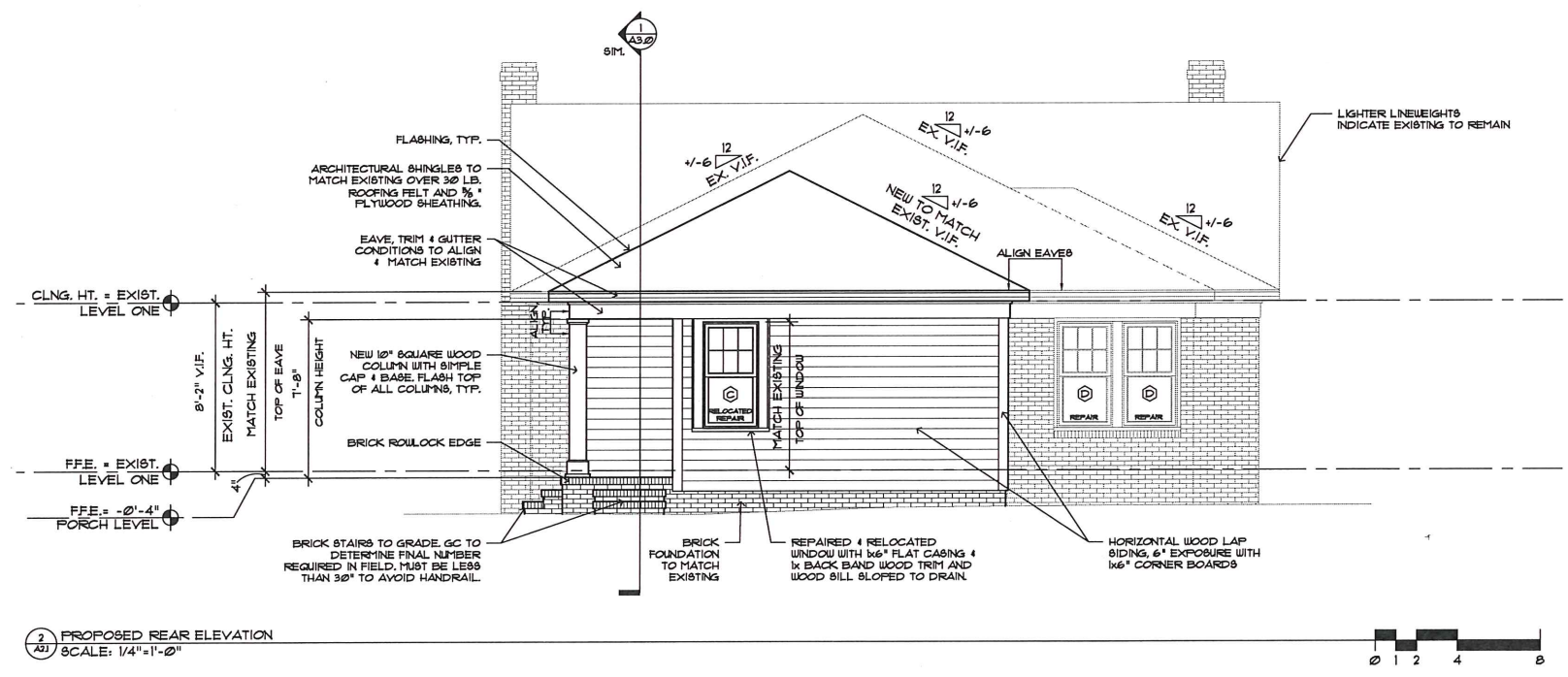
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NOTE: SEE SHEET A2.0 FOR WINDOW SCHEDULE

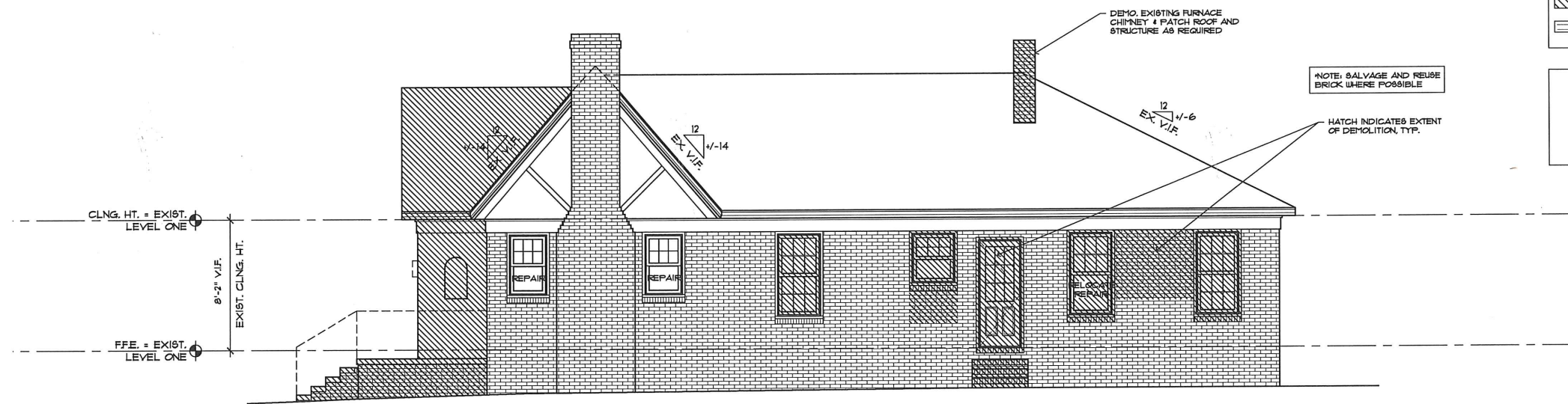


1 EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"

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Historic District
Commission
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HDCRMI-2018-00661



2 PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"



KEY:

| | | | |
|--|--|--|------------------|
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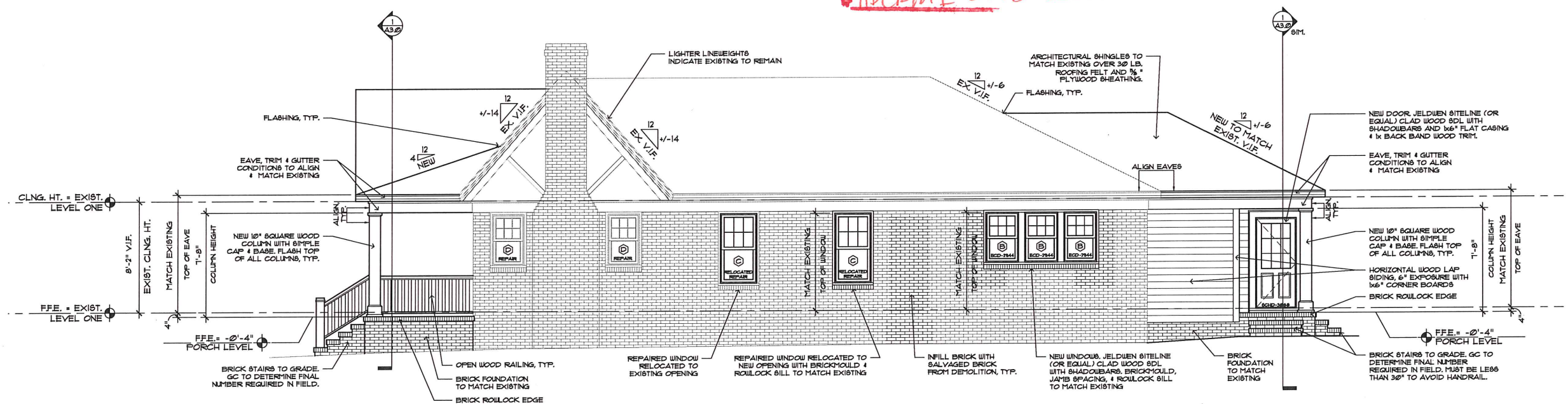
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NOTE: SEE SHEET A2.6 FOR WINDOW SCHEDULE

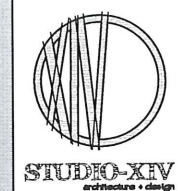
1 EXISTING RIGHT SIDE ELEVATION
A2.2 SCALE: 1/4"=1'-0"




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 Commission
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 #ADCR/MT-2018-00661



2 PROPOSED RIGHT SIDE ELEVATION
A2.2 SCALE: 1/4"=1'-0"



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EXISTING &
PROPOSED
RIGHT SIDE
ELEVATIONS
A2.2



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Elizabeth Griffin
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Charlotte, NC 28203

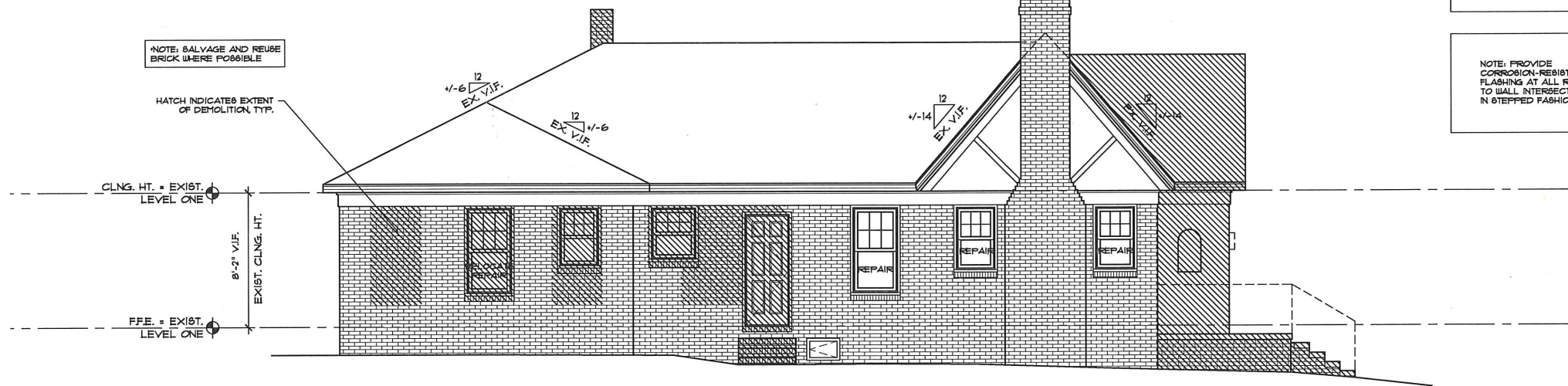
EXISTING &
PROPOSED
LEFT SIDE
ELEVATIONS
A2.3

| | | | |
|--|--|--|------------------|
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NOTE: PROVIDE CORROSION-RESISTANT FLASHING AT ALL ROOF TO WALL INTERSECTIONS IN STEPPED FASHION

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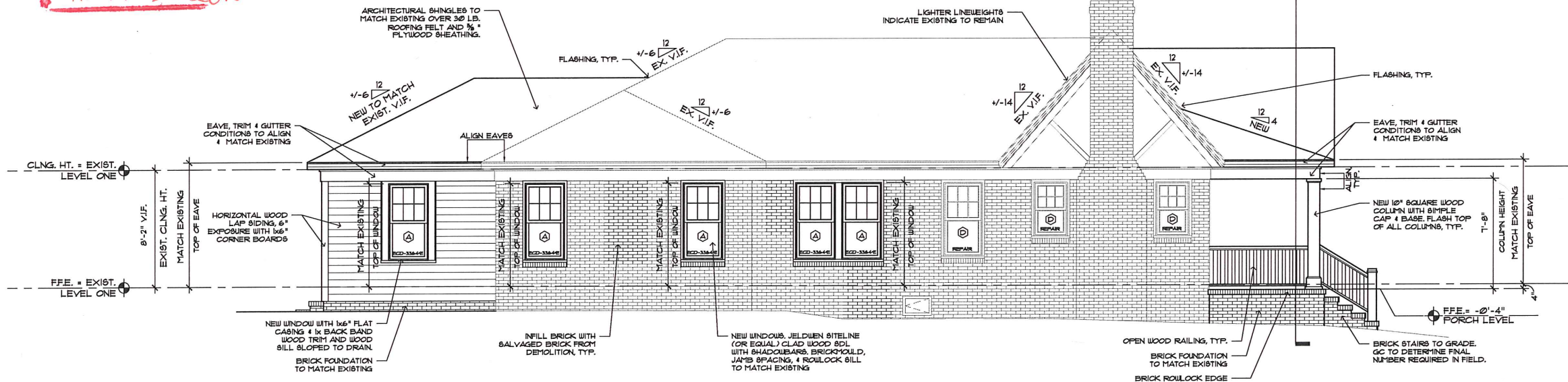
NOTE: SEE SHEET A2.2 FOR WINDOW SCHEDULE



1 EXISTING LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



HDC# 2018-00661



2 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"





Diana Heisk
5610 Cleland Park Place
Charlotte, NC 28203
704.618.4871
diana@studioxiv.com

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APPROVED
Charlotte Historic District
Submission
Certificate of Appropriateness
HD-CRMI-2018-00661

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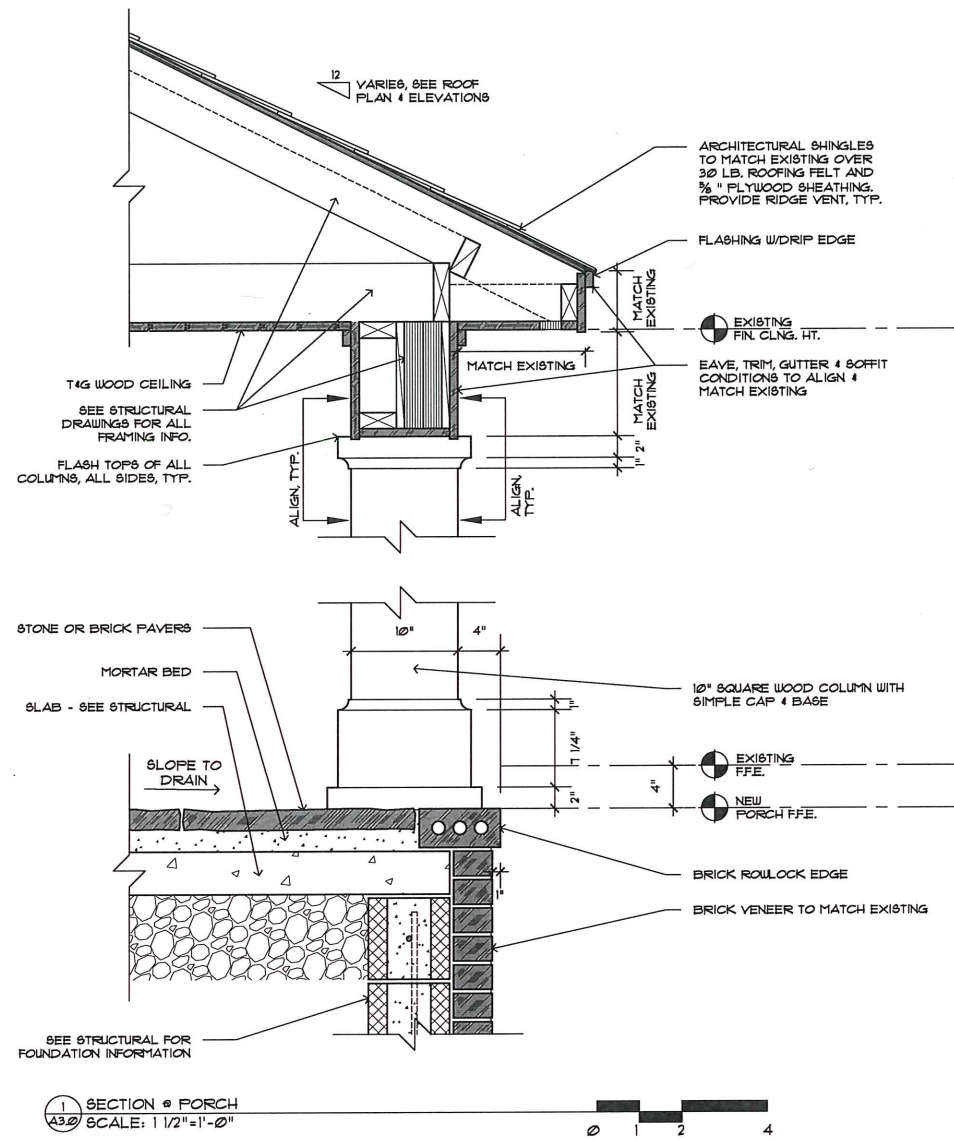
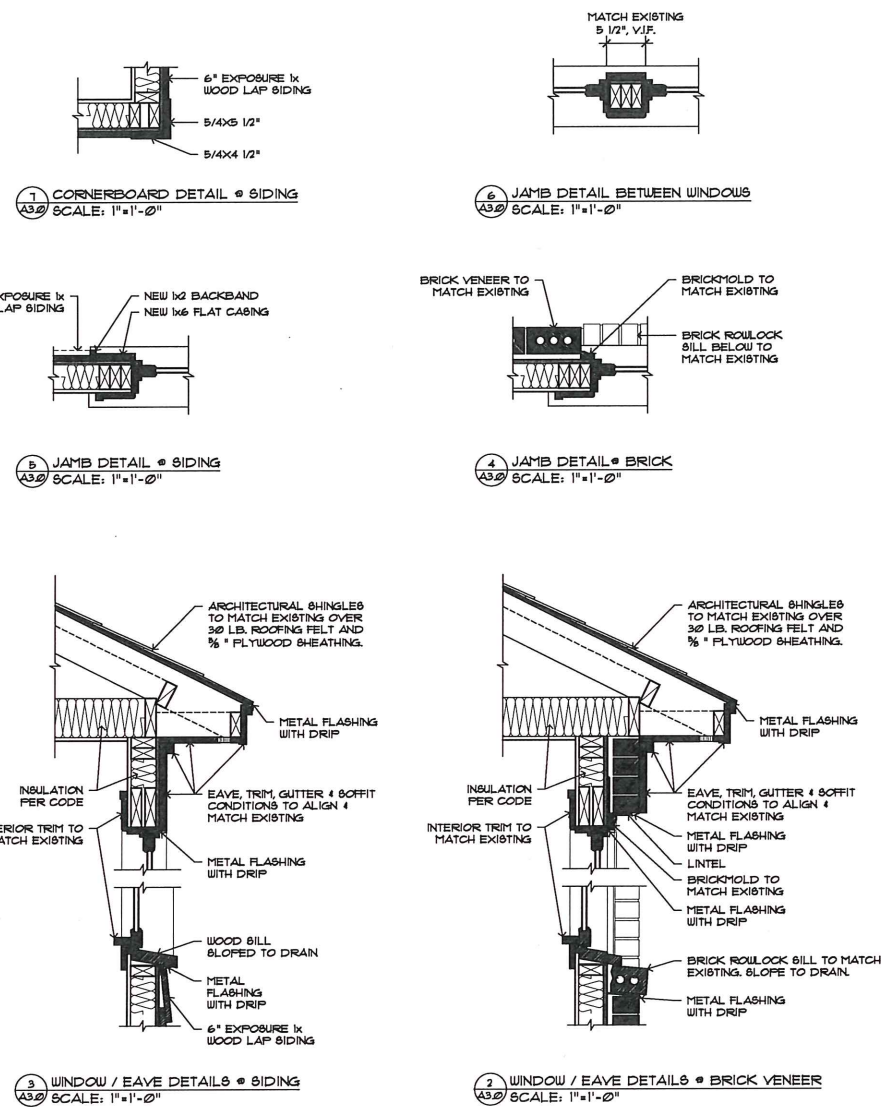
DATES:

Existing Drawings
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PROPOSED
SECTION
DETAILS

A3.0



1 WINDOW / EAVE DETAILS • SIDING
SCALE: 1"=1'-0"

2 WINDOW / EAVE DETAILS • BRICK VENEER
SCALE: 1"=1'-0"

1 SECTION • PORCH
SCALE: 1 1/2"=1'-0"

